



## **MUNICIPAL PLANNING COMMISSION**

**Monday 24<sup>th</sup> February, 2025**

**6:30 pm**

**Council Chambers**

### **AGENDA**

**1.0 Call to Order**

**2.0 Approval of the Agenda**

**3.0 Approval of the Minutes**

3.1 Municipal Planning Commission Meeting Minutes – 10<sup>th</sup> February 2025

**4.0 Topics**

4.1 Development Permit No. 2025-08 – 800 Sunset Place – Rear Yard Waiver Request

4.2

**5.0 As Introduced**

5.1

**6.0 Adjournment**



**PICTURE BUTTE MUNICIPAL PLANNING COMMISSION MEETING  
HELD IN COUNCIL CHAMBERS  
Monday, February 10<sup>th</sup>, 2025 at 6:30 p.m.**

**PRESENT:** Mayor Moore, Deputy Mayor Papworth, Councillor de Kok, Councillor Feist, Councillor Neels

**ALSO PRESENT:** Chief Administrative Officer – K. Davis  
Director of Corporate Services – M. Overbeeke  
Administrative Assistant – K. Rice

**1. CALL TO ORDER**

Deputy Mayor Papworth called the meeting to order at 6:28 p.m.

**2. APPROVAL OF AGENDA**

MOVED by Councillor Feist that the agenda be accepted as presented.

CARRIED

**3. APPROVAL OF THE MINUTES**

**a. June 17<sup>th</sup>, 2024 Meeting**

MOVED by Councillor Neels that the minutes from the June 17<sup>th</sup>, 2024 Municipal Planning Commission (MPC) meeting be accepted as presented.

CARRIED

**4. TOPICS**

**4.1 DEVELOPMENT PERMIT NO. 2025-04 – 751 Northridge Street – Home Occupation B – Hair Salon**

The owner of 751 Northridge Street has applied for a Home Occupation B. The applicant would like to use her home to run a Hair Salon. As there will be customer visits this application is considered a Discretionary Use and needs to be considered by the Municipal Planning Commission. The applicant thinks that there will be one to five customers per day.

MOVED by Councillor Feist to approve the application for a Home Occupation B at 751 Northridge Street.

CARRIED

#### **4.2 Development Officer Report**

MOVED by Councillor Neels to accept the Development Officer report as presented.

CARRIED

#### **5. AS INTRODUCED – NONE**

#### **6. ADJOURNMENT**

MOVED by Deputy Mayor Papworth that the Municipal Planning Commission meeting adjourn at 6:37p.m.

CARRIED

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Chair C. Papworth

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CAO Keith Davis



## Request for Decision

**Our Vision:** *Picture Butte is the Community of Choice to work, live and play in Lethbridge County*

**Our Mission:** *Picture Butte is a thriving community dedicated to serving our people through fiscal responsibility and transparency.*

Date: 20 February, 2025  
To: Mayor, Council  
From: CAO

### **Re: Development Permit 2025-08 – Rear Yard Setback Wavier Request**

#### **Background:**

The owner of 800 Sunset Place has applied for a rear yard setback waiver of 5 feet for the purpose of constructing a single detached home with an attached rear yard deck.

#### **Land Use Bylaw Considerations:**

1. The Land Use Bylaw requires a 7.6m/25ft. rear yard setback. The applicant's house plans has a detached deck that would mean that the rear yard setback would be 20 ft.

#### **Adjacent Landowners:**

To date I have not received any written submissions in favour, concerned or opposed to the requests of the applicant.

#### **Recommendations:**

To grant the 5 foot setback waiver request and allow the development to proceed with the home having a rear yard setback of 20 feet.

#### **Rationale:**

1. I do not think the proposed development will unduly interfere with the amenities of the neighbourhood or materially interfere or affect the enjoyment or value of neighbouring properties and the proposed development conforms with the use prescribed for that land.
2. This property backs onto the park of St. Catherines School. The wavier will have little impact on adjacent landowners.

#### **Alternate Option:**

To require the landowner to meet the rear yard set back requirements.

- This would mean the applicant would have to remove or reduce their deck by at least 5 ft.

#### **Attachments:**

1. Development Permit Application 2025-08
2. Adjacent landowner map
3. Adjacent landowner notification

**Submitted by:** Keith Davis, CAO





Town of Picture Butte  
Box 670, Picture Butte, AB  
T0K 1V0

RESIDENTIAL  
DEVELOPMENT PERMIT APPLICATION

Date of Application: \_\_\_\_\_

Tax Roll No.	
Development Permit Application No.	
Date Deemed Complete:	

**IMPORTANT NOTICE:** This application **does not** permit you to commence construction until such time as a permit has been issued by the Development Authority. If approval has not been received within 40 days of the date the application is deemed complete, you have the right to file an appeal to the Subdivision and Development Appeal Board.

**THIS DOES NOT CONSTITUTE A BUILDING PERMIT.  
A SEPARATE BUILDING PERMIT MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS.**

**APPLICANT INFORMATION**

Name of Applicant  
(please print): \_\_\_\_\_

Phone (primary): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone (alternate): \_\_\_\_\_

Municipality: \_\_\_\_\_

Fax: \_\_\_\_\_

Postal Code: \_\_\_\_\_

Email: \_\_\_\_\_

Check this box if you would like to receive documents through email.

Is the applicant the owner of the property?

Yes

No

**IF "NO" please complete box below**

Name of Owner: _____	Phone: _____
Mailing Address: _____	<b>Applicant's interest in the property:</b> <input type="checkbox"/> Agent <input type="checkbox"/> Contractor <input type="checkbox"/> Tenant <input type="checkbox"/> Other _____
Municipality: _____	
Postal Code: _____	

**PROPERTY INFORMATION**

Municipal Address: \_\_\_\_\_

Legal Description: Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ Plan \_\_\_\_\_

Land Use District: \_\_\_\_\_

Existing use of parcel: \_\_\_\_\_

**DEVELOPMENT INFORMATION**

**This application is to:** (Check all that apply)

- Construct a new dwelling

The dwelling is a:

- Single-detached site built dwelling
- Single-detached manufactured dwelling  Type 1  Type 2
- Single-detached ready-to-move
- 2-unit dwelling
- Multi-unit – please specify the number of dwelling units \_\_\_\_\_
- Other \_\_\_\_\_

- Alter/renovate the existing building

The renovation is a:

- Addition
- Attached garage
- Deck(s)
- Secondary suite
- Other \_\_\_\_\_

- Construct an accessory building / structure

The accessory building is a:

- Garage (detached)
- Shed/workshop
- Other \_\_\_\_\_

- Moved-in dwelling
- Demolish existing building (attach completed **Demolition Form**)
- Other

**Describe the proposed use, any changes from existing use, and any work to be done.**

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## BUILDING REQUIREMENTS

	Principal Building	Accessory Building	Office Use
Parcel Size	<input type="checkbox"/> m <sup>2</sup> <input type="checkbox"/> ft <sup>2</sup>	<input type="checkbox"/> m <sup>2</sup> <input type="checkbox"/> ft <sup>2</sup>	
Building Size	<input type="checkbox"/> m <sup>2</sup> <input type="checkbox"/> ft <sup>2</sup>	<input type="checkbox"/> m <sup>2</sup> <input type="checkbox"/> ft <sup>2</sup>	
Height of Building	<input type="checkbox"/> m <input type="checkbox"/> ft.	<input type="checkbox"/> m <input type="checkbox"/> ft.	
Proposed Setbacks from Property Lines			
Front	<input type="checkbox"/> m <input type="checkbox"/> ft	<input type="checkbox"/> m <input type="checkbox"/> ft	
Rear	<input type="checkbox"/> m <input type="checkbox"/> ft	<input type="checkbox"/> m <input type="checkbox"/> ft	
Side	<input type="checkbox"/> m <input type="checkbox"/> ft	<input type="checkbox"/> m <input type="checkbox"/> ft	
Side	<input type="checkbox"/> m <input type="checkbox"/> ft	<input type="checkbox"/> m <input type="checkbox"/> ft	
Parcel Type:	<input type="checkbox"/> Interior Lot	<input type="checkbox"/> Corner Lot	

### Details of VEHICLE PARKING and ACCESS:

Show **location** and **number** of all existing and proposed **parking spaces**, **loading spaces** and **driveways** on the PLOT PLAN.

### Details of EXTERIOR BUILDING FINISH:

Describe the type(s) \_\_\_\_\_ and colour(s) \_\_\_\_\_ of all material used to finish the existing and proposed structure exteriors.

**Details of SERVICES:** Indicate as follows: **(A)** = available   **(R)** = required

( ) water   ( ) sewer   ( ) septic field   ( ) natural gas   ( ) electricity   ( ) telephone

## ABANDONED WELL INFORMATION

This applies to developments that require a new permit from the municipality for:

- new buildings larger than 500 sq. ft. (47 m<sup>2</sup>), or
- additions to buildings that will result in the building being this size or larger.

If your development proposal fits the criteria above, you are **required** to do the following:

#### 1. Obtain map and well information

Please go to the ERCB's Abandoned Well Viewer (viewer) on the ERCB website at [www.ercb.ca](http://www.ercb.ca). The viewer will provide a map identifying all recorded abandoned well surface locations in the selected area and list any additional details that are available, including the licensee(s) of record and the latitude and longitude of each well's surface location.

If you do not have Internet access or have questions about the information provided by the viewer, you may contact:

- the ERCB Customer Contact Centre by telephone at: **1-855-297-8311 (toll-free)**, or
- by e-mail at: [Inquiries@ercb.ca](mailto:Inquiries@ercb.ca), or
- the ERCB Information Services by mail at: **Suite 1000, 250 – 5 Street SW, Calgary, Alberta T2P 0R4.**

**2. Submit the following as part of your development permit application**

- the ERCB information, including a map of the search area from the viewer and a statement that there are no wells in the project area or a list and map identifying the location of abandoned wells within the search area (including the surface coordinates, as provided by the viewer or ERCB Information Services); and
- if an abandoned well is present, a detailed site plan must be provided that accurately illustrates the actual well location (i.e. latitude, longitude) on the subject parcel as identified in the field and the setback established in the ERCB Directive 079 (a minimum 5 m radius around the well) in relation to existing or proposed building sites.

If there is an abandoned well located in the area of the proposed surface development, the applicant is advised to contact the well licensee of record for any additional information that may be needed or to physically locate the well, and to discuss the proposed development and abandoned well issue in more detail.

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**DECLARATION OF APPLICANT/AGENT**

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The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application for a Development Permit. I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

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APPLICANT

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Registered Owner (if not the same as applicant)

# TOWN OF PICTURE BUTTE RESIDENTIAL DEVELOPMENT PERMIT APPLICATION

## DEVELOPMENT APPLICATION SUBMISSION REQUIREMENTS

The following items shall be attached to all Development Permit Applications for new buildings or exterior changes to existing buildings. This is not an exhaustive list and the Designated Officer may request additional information that is required to assess the application.

- Copy of Site Plan.** Site plan shall provide the following information:  
(May be provided on a survey plan or sketch)
  - Legal description and municipal address of subject property
  - Scale and north arrow
  - Adjacent roadways and lanes
  - Lot dimensions, lot area, and percentage of lot coverage for all structures
  - Existing residence and/or any other buildings with dimensions of foundation and projections including decks
  - Proposed residence and/or any other buildings with dimensions of foundation and projections including decks
  - The proposed distances from the foundation of the building to the front, side, and rear property lines
  - Location of lot access, existing sidewalk(s) and curbs
  - Location of any registered utility right of ways or easements
  - Location and number of off-street parking spaces
- Copy of Building Plans.** Plans shall be to scale and contain the following information:
  - Scale and dimensions of exterior walls and interior rooms
  - Floor plan of all living space proposed to be developed
  - Building elevations including front, sides, and rear elevations, building height (from finished grade), roofing material, and roof pitch
- Copy of map or additional information from the ERCB regarding location of abandoned wells.**
- If applicant is not the registered owner,** a written statement (or this application) signed by the registered owner consenting to this application.
- Application fee payable to the Town of Picture Butte.**
- Security or performance bond if required by **the Town of Picture Butte** (for prefabricated [manufactured] dwellings, moved-in buildings, etc.).





**Index**

- A1 - 3D Rendering
- A2 - Elevation Views
- A3 - Elevation Views
- A4 - Main Floor Layout
- A5 - 2nd Floor Layout
- A6 - Foundation Layout
- A7 - Section View
- A8 - Section Views
- A9 - Plot Plan &  
ABC 9.36 Energy Calculations

# RONALD & HENDRIKA KOOIJMAN

NEW RESIDENCE  
800 - SUNSET PLACE,  
PICTURE BUTTE AB



- All Construction shall be in accordance with the latest governing Building Code(s) and local regulations.  
 - All Floor Joists and Roof Systems shall be designed and engineered by the supplier.  
 - Confirm rough opening sizes for windows and doors from supplier.  
 - All penetrations flashing to be in accordance with the 2014 Alberta Building Code.  
 - Do not scale drawings.  
 - Owner and Contractor to review all dimensions and specifications prior to construction.  
 - Drawings are only valid for address shown on plan and are not to be used to build at another location.

**N O T E S**

PAGE TITLE: **Cover Sheet**

PROJECT: **Ronald & Hendrika Kooijman**

DRAWINGS PROVIDED BY: **G de L**  
**Qualicore Homes Ltd.**  
 E: qualicorehomes@gmail.com C: 403.634.0034

DATE:

Jan 31, 2025

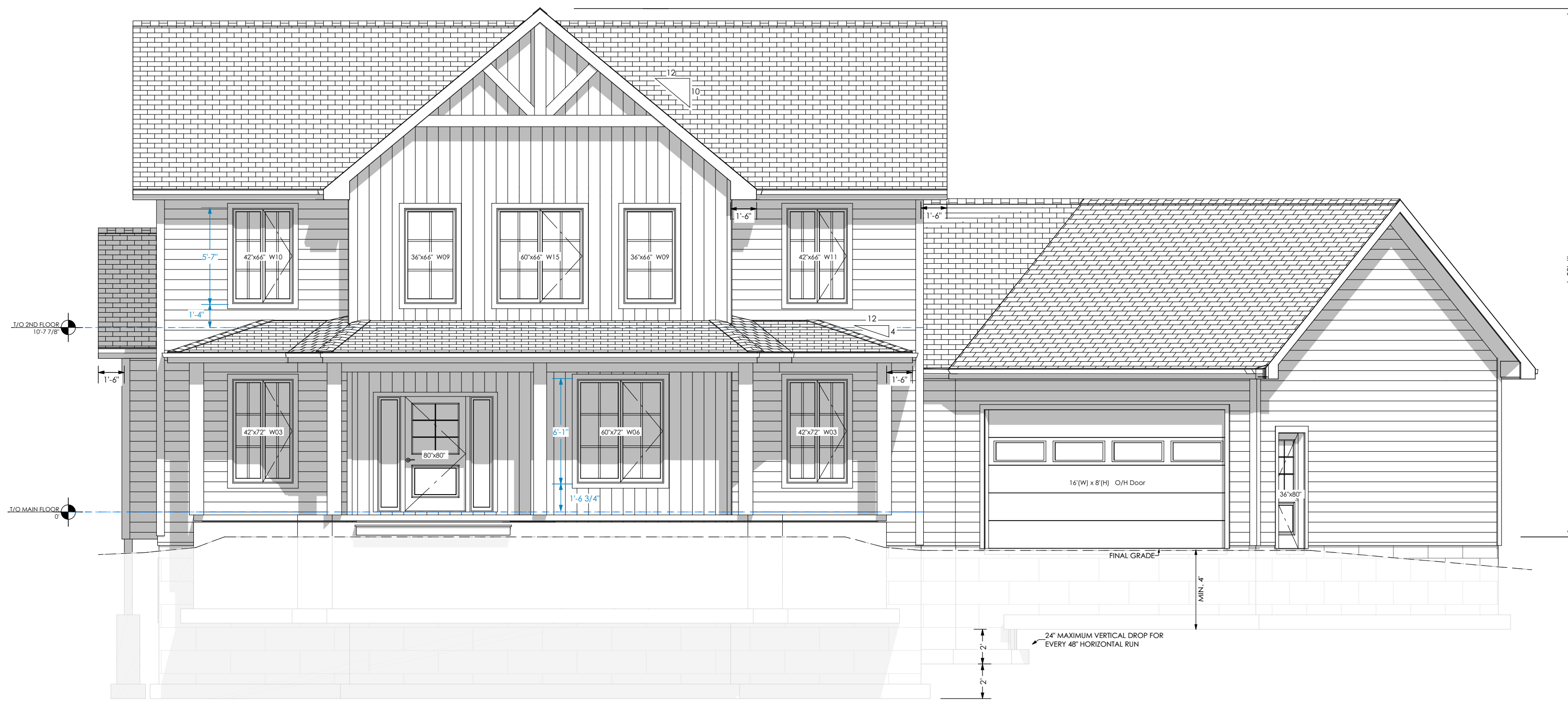
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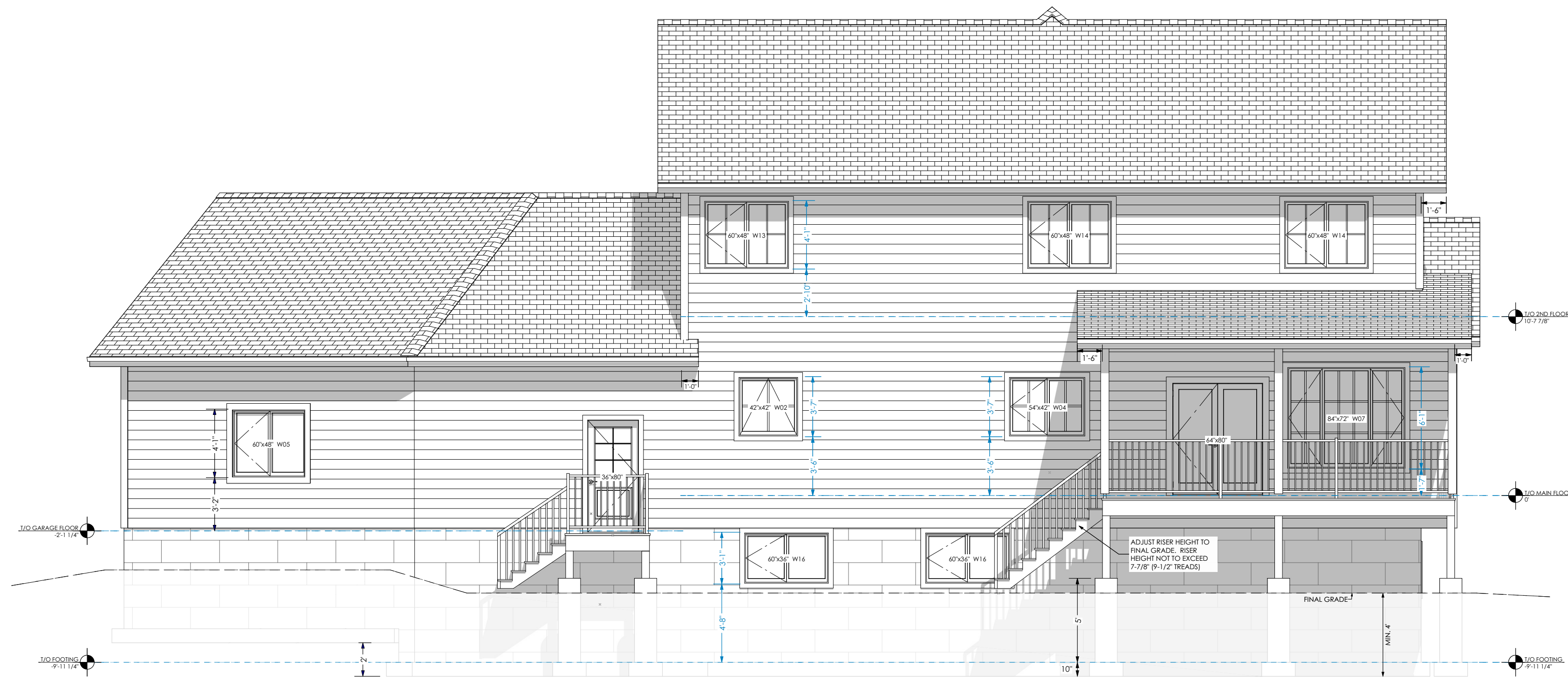
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**A-1**





**E1 ELEVATION VIEW**  
Scale: 3/16" = 1'0"



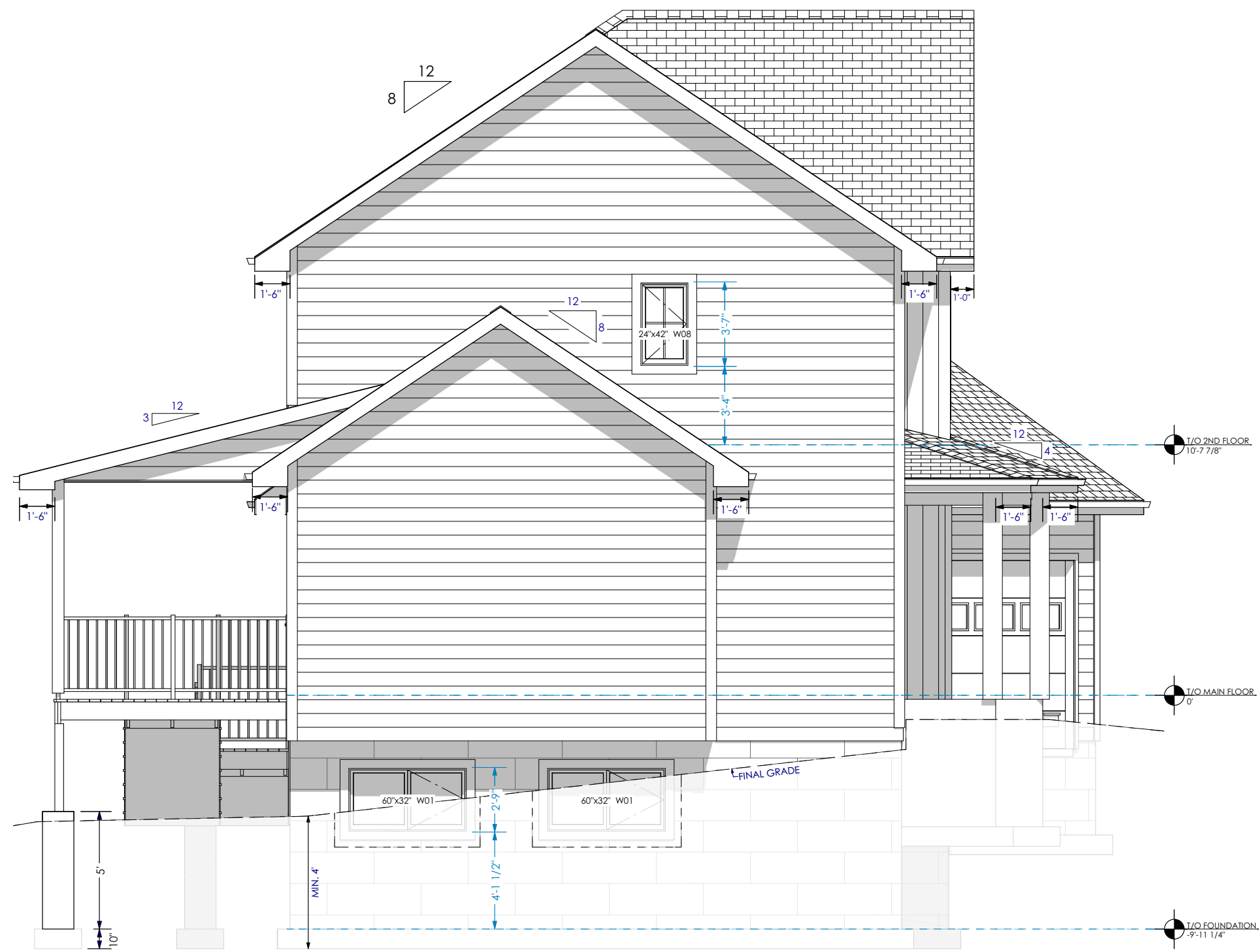
**E3 ELEVATION VIEW**  
Scale: 3/16" = 1'0"

- NOTES**
- All Construction shall be in accordance with the latest governing Building Code(s) and local regulations.
  - All Floor Trusses and Roof Systems shall be designed and engineered by the supplier.
  - Confirm rough opening sizes for windows and doors from supplier.
  - Penetration flashing to be in accordance with the 2014 Alberta Building Code.
  - Do not scale drawings.
  - Owner and Contractor to review all dimensions and specifications prior to construction.
  - Drawings are only valid for address shown on plan and are not to be used to build at another location.

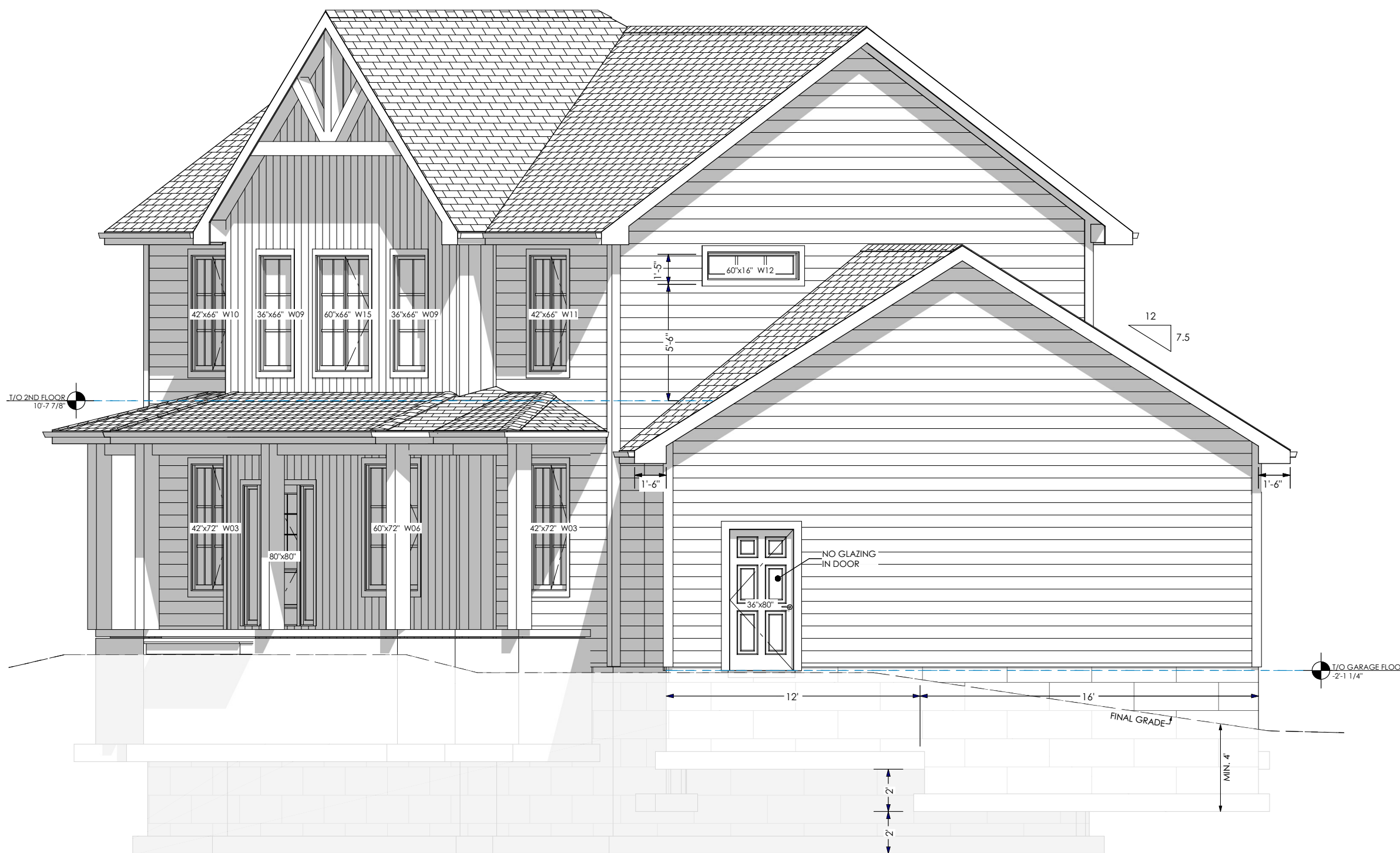
PAGE TITLE: **Elevation Views**  
PROJECT: **Ronald & Hendrika Koolijman**

DRAWINGS PROVIDED BY: **G die L**  
**Qualicore Homes Ltd.**  
E: qualicorehomes@gmail.com C: 403.634.0034

DATE: **Jan 31, 2025**  
SCALE: **As Shown**  
SHEET: **A-2**



**E2 ELEVATION VIEW**  
Scale: 3/16" = 1'0"



**E4 ELEVATION VIEW**  
Scale: 3/16" = 1'0"

**Energy Efficiency Requirements (ABC 2014, Section 9.36)**  
*Prescriptive Compliance*

Zone 6 Requirements	No HRV		HRV	
	RSI	R-Value	RSI	R-Value
<b>Above Ground Building Assembly</b>				
Ceiling below attics	6.67	49.2	8.67	49.2
Cathedral ceiling or flat roofs	4.67	26.5	4.67	26.5
Walls	3.08	17.5	2.97	16.9
Floors over unheated spaces	4.67	26.5	4.67	26.5
Walls beside unconditioned garage	2.92	16.6	2.81	16.0
Attic access hatch	2.60	14.8	2.60	14.8
<b>Below Ground Building Assembly</b>				
Foundation walls	2.98	16.2	2.98	16.2
Unheated floors - below frost line	Un-Insulated		Un-Insulated	
Unheated floors - above frost line	1.96	11.1	1.96	11.1
Heated floors	2.32	13.2	2.32	13.2
Slabs-on-grade with integral footing	1.96	11.1	1.96	11.1

**Windows and Doors**  
 Windows - Max. USI-Value: 1.6, Min. Energy Rating: 25  
 Doors - Max. USI-Value: 1.6, Min. Energy Rating: 25  
 Garage access door(s) - Min. RSI Value: 1.1

- \*NOTES**
- All penetrations through the building envelope must have an airtight seal.
  - 6 Mil. poly vapour barrier, accoustical sealant and sheathing tape must be used to seal all windows, exterior doors, wall and rim joist transitions and all penetrations in walls and roof
  - 6 Mil. poly vapor barrier underneath concrete slab
  - Attic Access to be sealed with weather stripping or foam gasket and have a continuous bead of sealant.

Materials	RSI	R-Value
Dampproofing	0.00	0.00
EPS Type 2 (2-5/8")	1.87	10.62
Concrete (8")	0.07	0.39
EPS Type 2 (2-5/8")	1.87	10.62
Interior Air Film	0.12	0.68
<b>Total RSI (R-Value)</b>	<b>3.93</b>	<b>22.31</b>

Materials	RSI	R-Value
Outside Air Film	0.03	0.17
Cement Hardie Board	0.03	0.15
Building Wrap	0.00	0.00
3/8" OSB Sheathing	0.09	0.51
2x6, 16"OC, R24	2.76	15.67
6 Mil Poly Vapor Barrier	0.00	0.00
1/2" Drywall	0.08	0.45
Interior Air Film	0.12	0.68
<b>Total RSI (R-Value)</b>	<b>3.11</b>	<b>17.63</b>

Materials	RSI	R-Value
Outside Air Film	0.03	0.17
Spray Polyurethane Foam -R20, 5" Min.	4.57	25.95
Truss Assembly, 16" O/C		
3/4 OSB Sheathing	0.18	1.02
Interior Air Film	0.16	0.91
<b>Total RSI (R-Value)</b>	<b>4.94</b>	<b>28.05</b>

Materials	RSI	R-Value
Interior Air Film	0.16	0.91
5" Concrete Floor	0.05	0.29
EPS Type 2 (2.5")	1.76	9.99
<b>Total RSI (R-Value)</b>	<b>1.97</b>	<b>11.19</b>

Materials	RSI	R-Value
Outside Air Film	0.03	0.17
Metal Roofing-Hollow Backed	0.11	0.62
2x4 Strapping, 24" O/C	0.38	2.16
Truss Assembly, 24" O.C.		0.00
R50 Glass Fibre Loose Fill	8.46	48.04
6 Mil Poly Vapor Barrier	0.00	0.00
1/2" Ceiling Drywall	0.08	0.45
Interior Air Film	0.11	0.62
<b>Total RSI (R-Value)</b>	<b>9.14</b>	<b>51.90</b>

Materials	RSI	R-Value
Asphalt Shingles	0.00	0.00
7/16" OSB Sheeting	0.00	0.00
Outside Air Film	0.03	0.17
Truss Assembly, 24" O.C.		
R30 Batt Insulation	4.47	25.36
6 Mil Poly Vapor Barrier	0.00	0.00
1/2" Ceiling Drywall	0.08	0.45
Interior Air Film	0.12	0.68
<b>Total RSI (R-Value)</b>	<b>4.70</b>	<b>26.66</b>

- All Construction shall be in accordance with the latest governing Building Code(s) and local regulations.  
 - All Floor Joists and Roof Systems shall be designed and engineered by the supplier.  
 - Confirm rough opening sizes for windows and doors from supplier.  
 - Penetration flashing to be in accordance with the 2014 Alberta Building Code.  
 - Do not scale drawings.  
 - Owner and Contractor to review all dimensions and specifications prior to construction.  
 - Drawings are only valid for address shown on plan and are not to be used to build at another location.

N O T E S

PAGE TITLE: Elevation Views & ABC 9.36 Energy Calculations  
 PROJECT: Ronald & Hendrika Koolijman

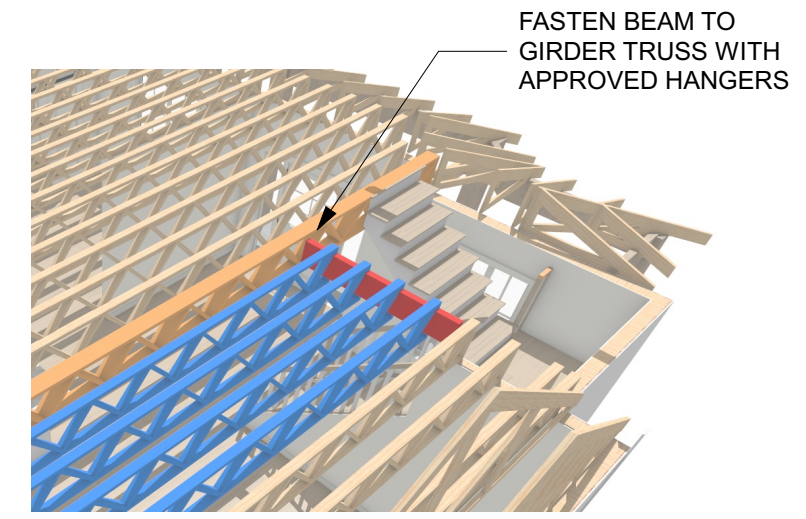
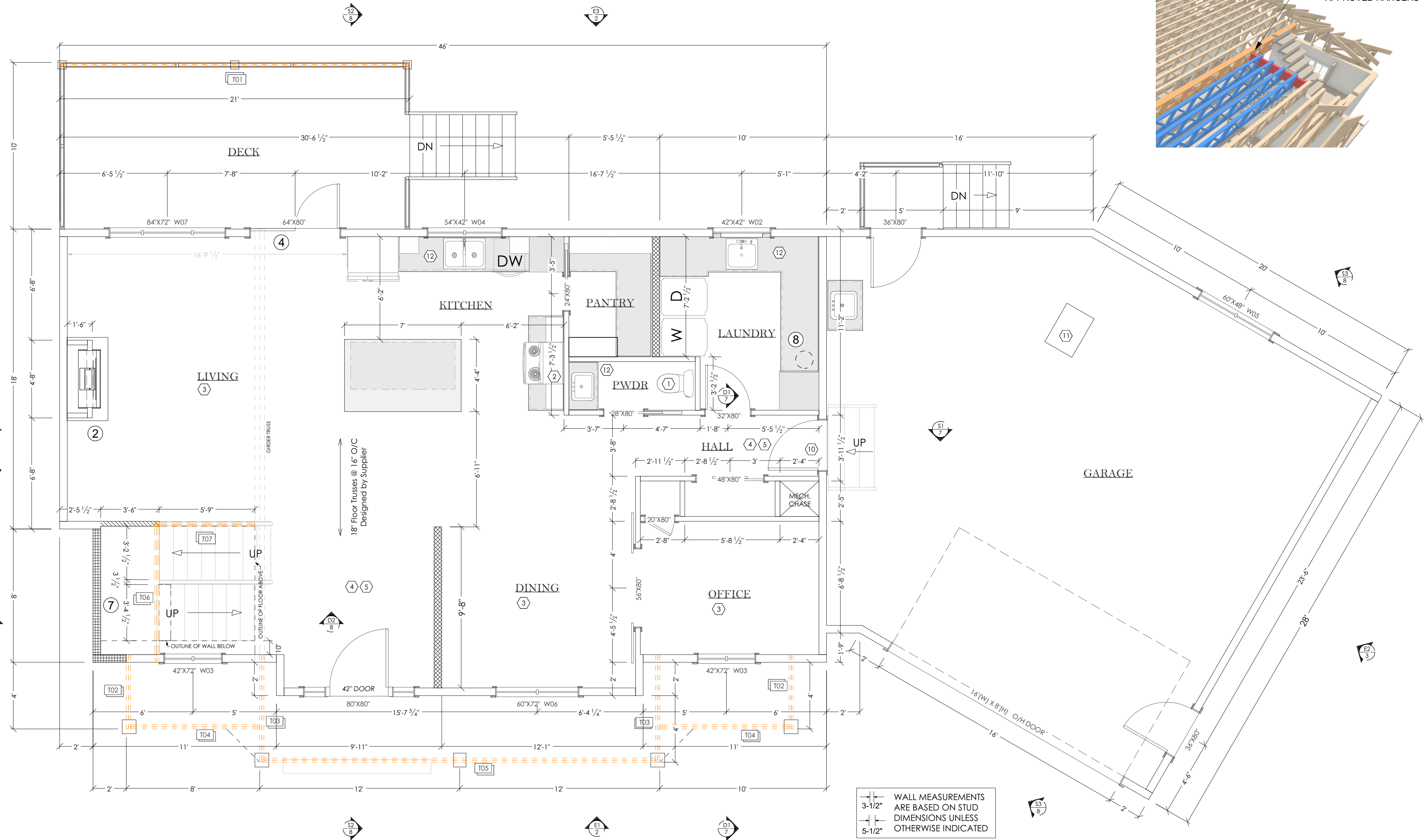
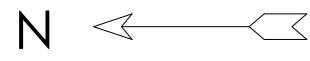
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DATE:  
Jan 31, 2025

SCALE:  
As Shown

SHEET:  
**A-3**





FASTEN BEAM TO GIRDER TRUSS WITH APPROVED HANGERS

# 1 MAIN FLOOR PLAN

Scale: 1/4" = 1'0"

Square Ft.	
Main Floor:	1158
2nd Floor:	1109
Foundation:	1031
Garage:	774
Veranda:	168
Back Deck:	210

ADDITIONAL NOTES SCHEDULE	
①	ENSURE 760MM (30") CLEARANCE IS MAINTAINED BETWEEN OPENED WINDOW AND WINDOW WELL. WINDOW WELL VERTICAL DROP NOT TO EXCEED 1.5M
②	FRAME FIREPLACE SURROUND AND VENT OPENING ACCORDING TO FIREPLACE MANUFACTURER'S SPECIFICATIONS
③	WALK IN SHOWER - SHOWER BASE C/W WITH TILED WALLS AS PER OWNER/CONTRACTOR. ENSURE PROPER WATERSHED AND SEALING AS PER INDUSTRY STANDARDS
④	DOOR HEADER TO BE SPECIFIED BY TRUSS DESIGNER
⑤	HEIGHT AND DEPTH OF SONOTUBE TO SUIT FINAL GRADE. ENSURE BOTTOM OF COLUMN PAD IS 48" BELOW FINAL GRADE
⑥	ENSURE ADEQUATE COMPACTION BELOW CONCRETE DECKS. USE VOID FORMS IF NEEDED. ENSURE FOUNDATION WALL IS PROPERLY SEALED WITH DURABLE WATERPROOFING MATERIAL
⑦	TALL WALL TO BE CONSTRUCTED AS DESIGNED AND ENGINEERED BY OTHERS. ENGINEERED DRAWINGS TO BE FORWARDED TO BUILDING INSPECTOR AND ON SITE PRIOR TO FRAMING INSPECTION.
⑧	LAUNDRY CHUTE TO FLOOR BELOW. ENSURE CHILD LOCK ON CABINET DOOR OPENING INTO LAUNDRY CHUTE
⑨	FOUNDATION WALL 18" TALLER

WINDOW SCHEDULE						
NUMBER	FLOOR	QTY	WIDTH	HEIGHT	R/O	EGRESS/BOTTOM ELEV.
W01	0	2	60"	32"	61"X33"	YES 47"
W02	1	1	42"	42"	43"X43"	42 1/2"
W03	1	2	42"	72"	43"X73"	20"
W04	1	1	54"	42"	55"X43"	42 1/2"
W05	1	1	60"	48"	61"X49"	40 1/2"
W06	1	1	60"	72"	61"X73"	20"
W07	1	1	84"	72"	85"X73"	19 1/2"
W08	2	1	24"	42"	25"X43"	40 1/2"
W09	2	2	36"	66"	37"X67"	16 1/2"
W10	2	1	42"	66"	43"X67"	16 1/2"
W11	2	1	42"	66"	43"X67"	YES 16 1/2"
W12	2	1	60"	16"	61"X17"	66 1/2"
W13	2	1	60"	48"	61"X49"	34 1/2"
W14	2	2	60"	48"	61"X49"	YES 34 1/2"
W15	2	1	60"	66"	61"X67"	16 1/2"
W16	0	2	60"	36"	61"X37"	YES 53 1/2"

Window Schedule Notes:  
 • Bottom Elevation is distance from floor to bottom of window as shown on elevation drawings. Bottom Elevations are suggested only and need confirmation of homeowner and/or contractor prior to framing  
 • Contractor and/or homeowner(s) to ensure door and window sizes and amounts are verified prior to ordering windows and door materials

FRAMING SCHEDULE					
NUMBER	QTY	NOMINAL	TOTAL LENGTH	TYPE	TREATED
T01	2	2X10	21'	LUMBER	N
T02	4	2X10	4'-5 1/2"	LUMBER	N
T03	4	2X10	6'-5 1/2"	LUMBER	N
T04	4	2X10	7'-9"	LUMBER	N
T05	2	2X12	23'-6"	LUMBER	N
T06	2	2X10	8'-5 1/2"	LUMBER	N
T07	2	2X12	6'-0 1/2"	LUMBER	N
T08	2	2X10	3'-9 3/4"	LUMBER	N
T09	2	2X10	4'-0 1/2"	LUMBER	N
T10	2	2X12	7'-6 1/2"	LUMBER	N
T11	3	2X12	5'-7"	LUMBER	N
T12	2	2X12	5'	LUMBER	Y
T13	2	2X12	21'	LUMBER	Y

Framing Schedule Notes:  
 • All beam sizes specified by Truss Supplier supersede the beam schedule.  
 • Consult Truss Supplier for appropriate beam hangers.  
 • Window & Door Headers not included in Framing Schedule.

Wall Legend	
	Exterior Wall (2x6)
	Interior Wall (2x4)
	Plumbing Wall (2x6)
	Bearing Wall (2x6)
	Bearing Wall (2x4)
	ICF Conc. Wall
	Tall Wall Construction
	Reg. 8" Conc. Wall

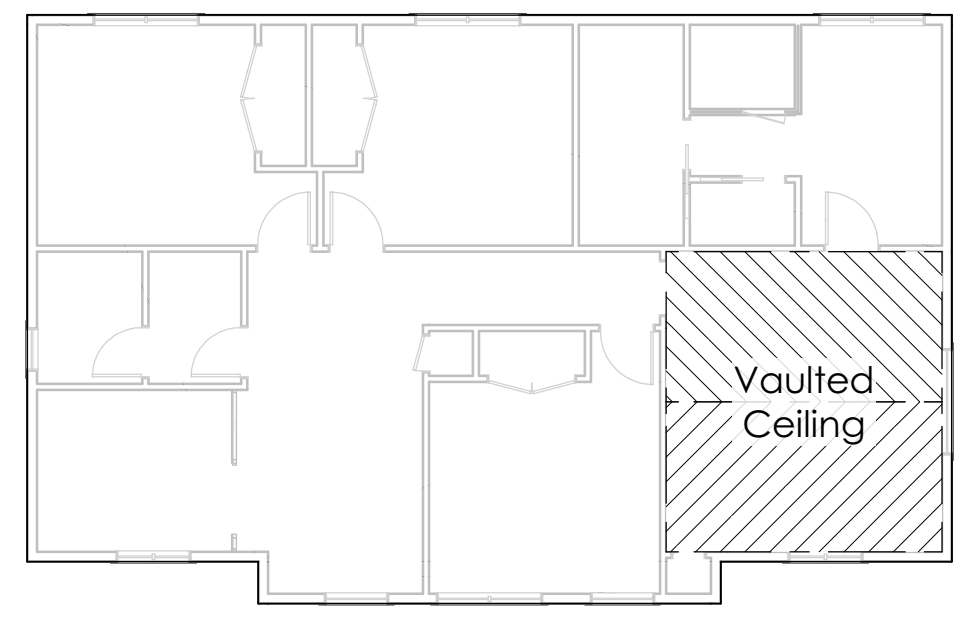
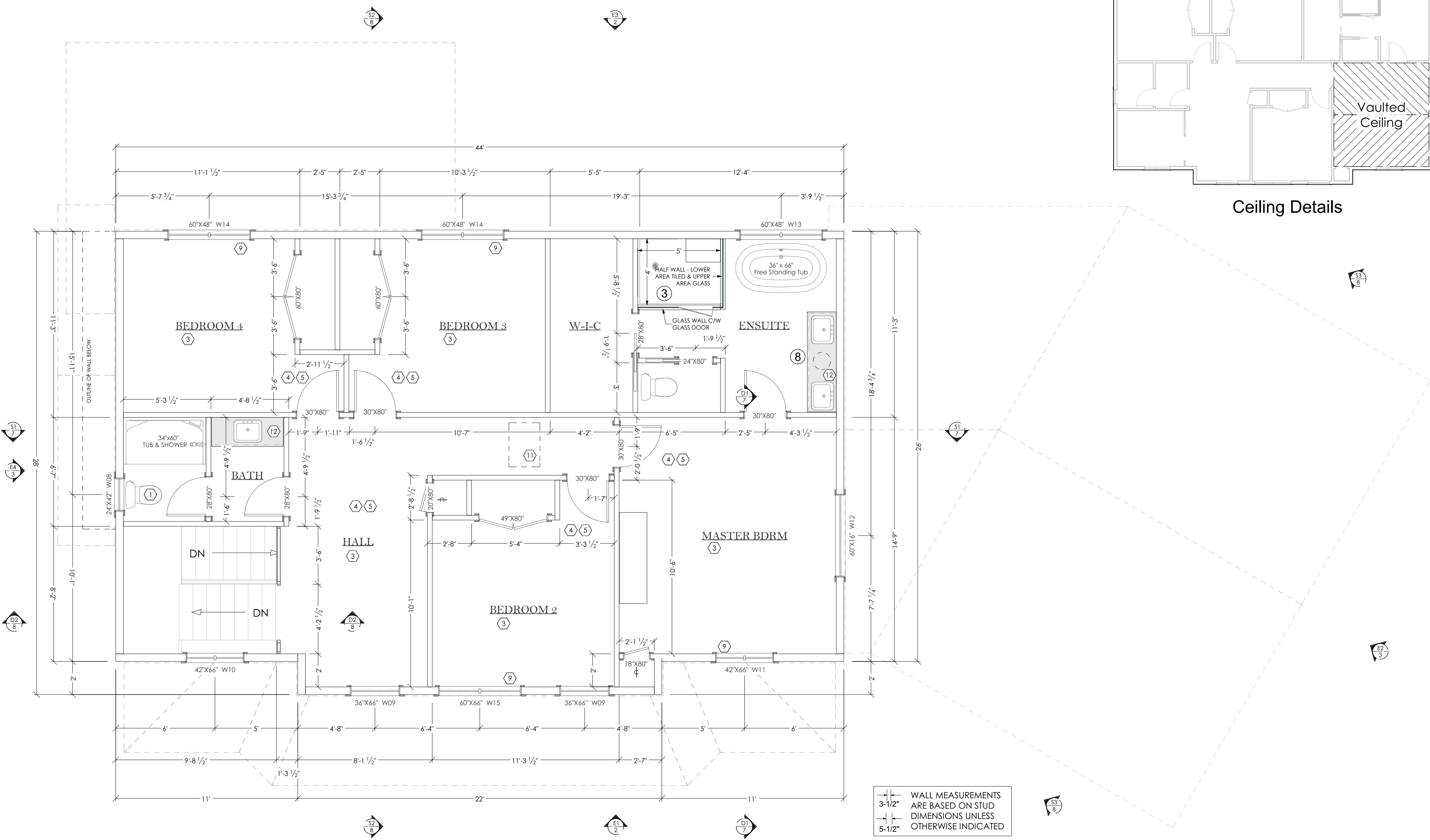
Callout Legend	
①	Bathroom fan to vent to exterior
②	Kitchen fan to vent to exterior
③	ARC fault outlets this room
④	Smoke Detector
⑤	Carbon Monoxide Detector
⑥	High Efficiency Furnace
⑦	Radon Gas exhaust provision
⑧	Plant Ledge
⑨	Egress Window
⑩	c/w closer and weatherstripping
⑪	22" x 28" Attic Access
⑫	GFI Outlets where applicable
⑬	Channel in Footing for Drain Tile

NOTES  
 - All Construction shall be in accordance with the latest governing Building Code(s) and local regulations.  
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 - Penetration flashing to be in accordance with the 2014 Alberta Building Code.  
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PAGE TITLE: Main Floor Layout  
 PROJECT: Ronald & Hendrika Koolijman

DRAWINGS PROVIDED BY: G die L  
 Qualicore Homes Ltd.  
 E: qualicorehomes@gmail.com C: 403.634.0034

DATE: Jan 31, 2025  
 SCALE: As Shown  
 SHEET: A-4



Ceiling Details

**2 2ND FLOOR LAYOUT**  
Scale: 1/4" = 1'0"

Square Ft.	
Main Floor:	1158
2nd Floor:	1109
Foundation	1031
Garage	774
Veranda	168
Back Deck	210

ADDITIONAL NOTES SCHEDULE	
①	ENSURE 760MM (30") CLEARANCE IS MAINTAINED BETWEEN OPENED WINDOW AND WINDOW WELL. WINDOW WELL VERTICAL DROP NOT TO EXCEED 1.5M
②	FRAME FIREPLACE SURROUND AND VENT OPENING ACCORDING TO FIREPLACE MANUFACTURER'S SPECIFICATIONS
③	WALK IN SHOWER - SHOWER BASE C/W WITH TILED WALLS AS PER OWNER/CONTRACTOR. ENSURE PROPER WATERSHED AND SEALING AS PER INDUSTRY STANDARDS
④	DOOR HEADER TO BE SPECIFIED BY TRUSS DESIGNER
⑤	HEIGHT AND DEPTH OF SONOTUBE TO SUIT FINAL GRADE. ENSURE BOTTOM OF COLUMN PAD IS 48" BELOW FINAL GRADE
⑥	ENSURE ADEQUATE COMPACTION BELOW CONCRETE DECKS. USE VOID FORMS IF NEEDED. ENSURE FOUNDATION WALL IS PROPERLY SEALED WITH DURABLE WATERPROOFING MATERIAL
⑦	TALL WALL TO BE CONSTRUCTED AS DESIGNED AND ENGINEERED BY OTHERS. ENGINEERED DRAWINGS TO BE FORWARDED TO BUILDING INSPECTOR AND ON SITE PRIOR TO FRAMING INSPECTION.
⑧	LAUNDRY CHUTE TO FLOOR BELOW. ENSURE CHILD LOCK ON CABINET DOOR OPENING INTO LAUNDRY CHUTE
⑨	FOUNDATION WALL 18" TALLER

WINDOW SCHEDULE						
NUMBER	FLOOR	QTY	WIDTH	HEIGHT	R/O	EGRESS BOTTOM ELEV.
W01	0	2	60"	32"	61"X33"	YES 47"
W02	1	1	42"	42"	43"X43"	42 1/2"
W03	1	2	42"	72"	43"X73"	20"
W04	1	1	54"	42"	55"X43"	42 1/2"
W05	1	1	60"	48"	61"X49"	40 1/2"
W06	1	1	60"	72"	61"X73"	20"
W07	1	1	84"	72"	85"X73"	19 1/2"
W08	2	1	24"	42"	25"X43"	40 1/2"
W09	2	2	36"	66"	37"X67"	16 1/2"
W10	2	1	42"	66"	43"X67"	16 1/2"
W11	2	1	42"	66"	43"X67"	YES 16 1/2"
W12	2	1	60"	16"	61"X17"	66 1/2"
W13	2	1	60"	48"	61"X49"	34 1/2"
W14	2	2	60"	48"	61"X49"	YES 34 1/2"
W15	2	1	60"	66"	61"X67"	YES 16 1/2"
W16	0	2	60"	36"	61"X37"	YES 53 1/2"

Window Schedule Notes:  
 • Bottom Elevation is distance from floor to bottom of window as shown on elevation drawings. Bottom Elevations are suggested only and need confirmation of homeowner and/or contractor prior to framing.  
 • Contractor and/or homeowner(s) to ensure door and window sizes and amounts are verified prior to ordering windows and door materials.

WALL MEASUREMENTS ARE BASED ON STUD DIMENSIONS UNLESS OTHERWISE INDICATED

FRAMING SCHEDULE					
NUMBER	QTY	NOMINAL	TOTAL LENGTH	TYPE	TREATED
T01	2	2X10	21'	LUMBER	N
T02	4	2X10	4'-5 1/2"	LUMBER	N
T03	4	2X10	6'-5 1/2"	LUMBER	N
T04	4	2X10	7'-9"	LUMBER	N
T05	2	2X12	23'-6"	LUMBER	N
T06	2	2X10	8'-5 1/2"	LUMBER	N
T07	2	2X12	6'-0 1/2"	LUMBER	N
T08	2	2X10	3'-9 3/4"	LUMBER	N
T09	2	2X10	4'-0 1/2"	LUMBER	N
T10	2	2X12	7'-6 1/2"	LUMBER	N
T11	3	2X12	5'-7"	LUMBER	N
T12	2	2X12	5'	LUMBER	Y
T13	2	2X12	21'	LUMBER	Y

Framing Schedule Notes:  
 • All beam sizes specified by Truss Supplier supercede the beam schedule.  
 • Consult Truss Supplier for appropriate beam hangers.  
 • Window & Door Headers not included in Framing Schedule.

Wall Legend	
	Exterior Wall (2x6)
	Interior Wall (2x4)
	Plumbing Wall (2x6)
	Bearing Wall (2x6)
	Bearing Wall (2x4)
	ICF Conc. Wall
	Tall Wall Construction
	Reg. 8" Conc. Wall

Callout Legend	
①	Bathroom fan to vent to exterior
②	Kitchen fan to vent to exterior
③	ARC fault outlets this room
④	Smoke Detector
⑤	Carbon Monoxide Detector
⑥	High Efficiency Furnace
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⑩	c/w closer and weatherstripping
⑪	22" x 28" Attic Access
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⑬	Channel in Footing for Drain Tile

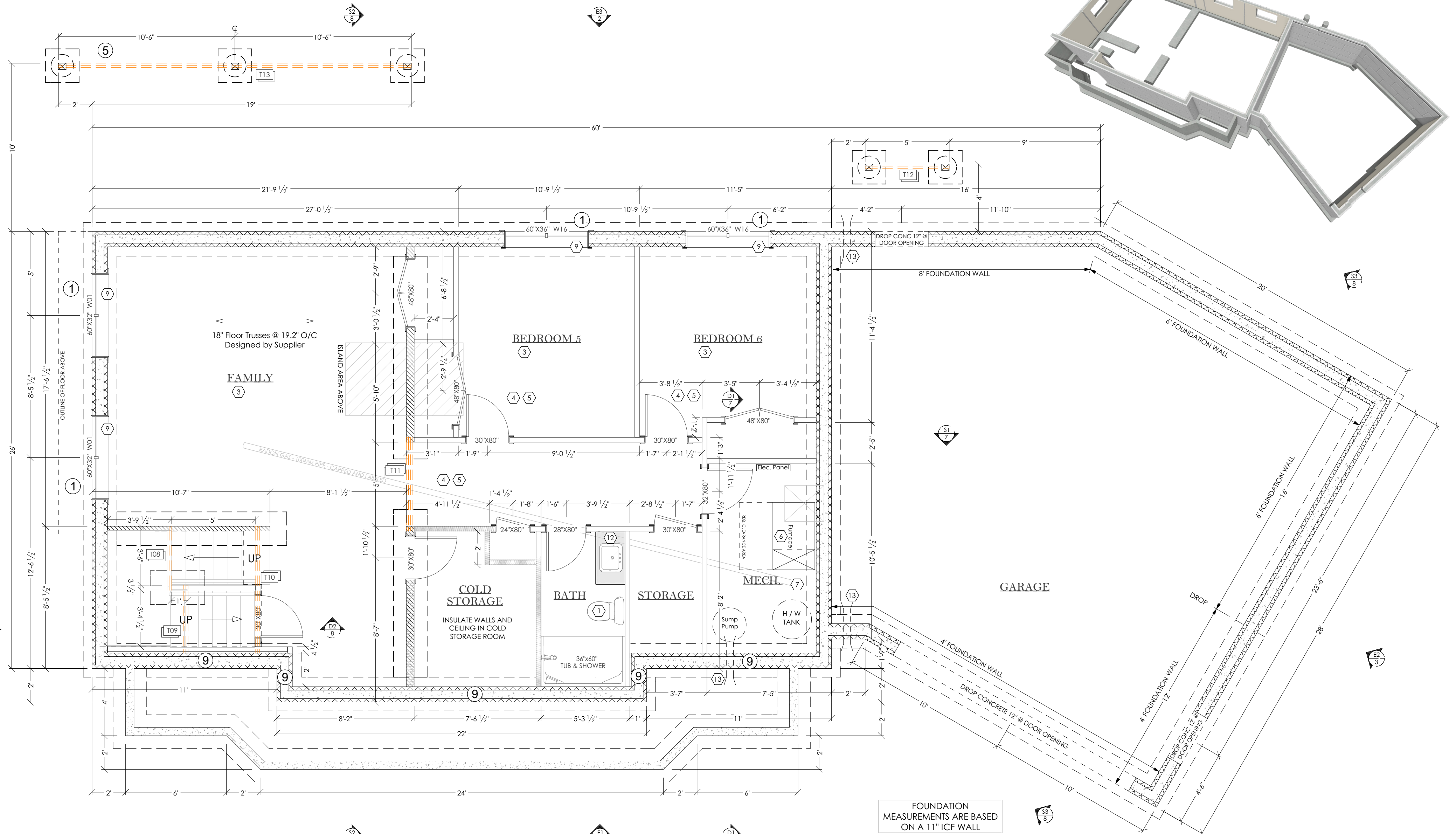
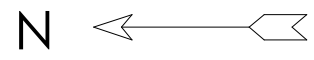
NOTES  
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 • Confirm rough opening sizes for windows and doors from supplier.  
 • Penetration flashing to be in accordance with the 2014 Alberta Building Code.  
 • Do not scale drawings.  
 • Owner and Contractor to review all dimensions and specifications prior to construction.  
 • Drawings are only valid for address shown on plan and are not to be used to build at another location.

PAGE TITLE: 2nd Floor Layout  
 PROJECT: Ronald & Hendrika Koolijman

DRAWINGS PROVIDED BY: G de L  
 Qualicore Homes Ltd.  
 E: qualicorehomes@gmail.com C: 403.634.0034

DATE: Jan 31, 2025  
 SCALE: As Shown  
 SHEET: A-5





# 0 FOUNDATION PLAN

Scale: 1/4" = 1'0"

Square Ft.	
Main Floor:	1158
2nd Floor:	1109
Foundation	1031
Garage	774
Veranda	168
Back Deck	210

ADDITIONAL NOTES SCHEDULE	
①	ENSURE 760MM (30") CLEARANCE IS MAINTAINED BETWEEN OPENED WINDOW AND WINDOW WELL. WINDOW WELL VERTICAL DROP NOT TO EXCEED 1.5M
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⑨	FOUNDATION WALL 18' TALLER

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W14	2	2	60"	48"	61"X49"	YES 34 1/2"
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W16	0	2	60"	36"	61"X37"	YES 53 1/2"

Window Schedule Notes:  
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 • Contractor and/or homeowner(s) to ensure door and window sizes and amounts are verified prior to ordering windows and door materials

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T07	2	2X12	6'-0 1/2"	LUMBER	N
T08	2	2X10	3'-9 3/4"	LUMBER	N
T09	2	2X10	4'-0 1/2"	LUMBER	N
T10	2	2X12	7'-6 1/2"	LUMBER	N
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T13	2	2X12	21'	LUMBER	Y

Framing Schedule Notes:  
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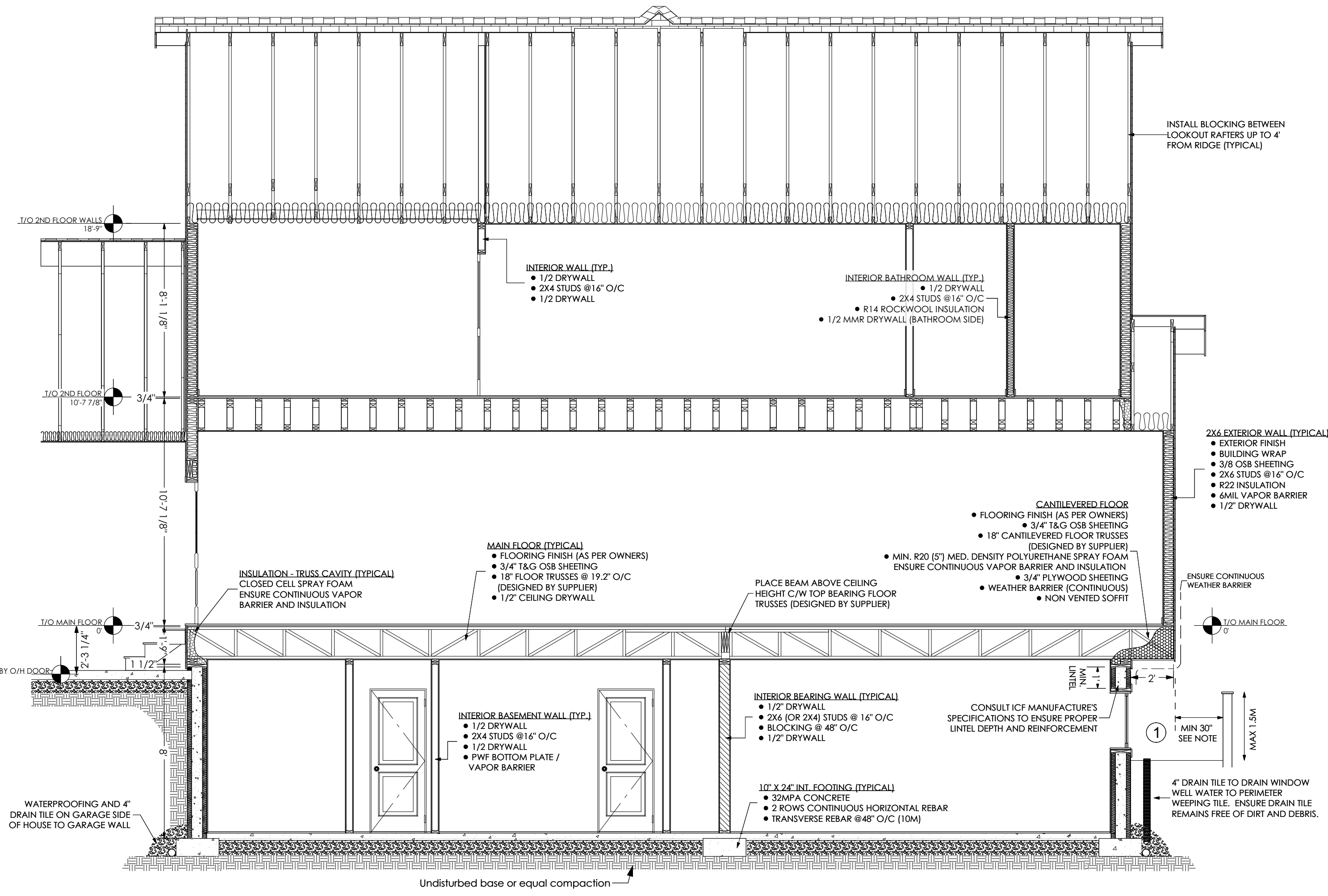
Callout Legend	
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⑩	c/w closer and weatherstripping
⑪	22" x 28" Attic Access
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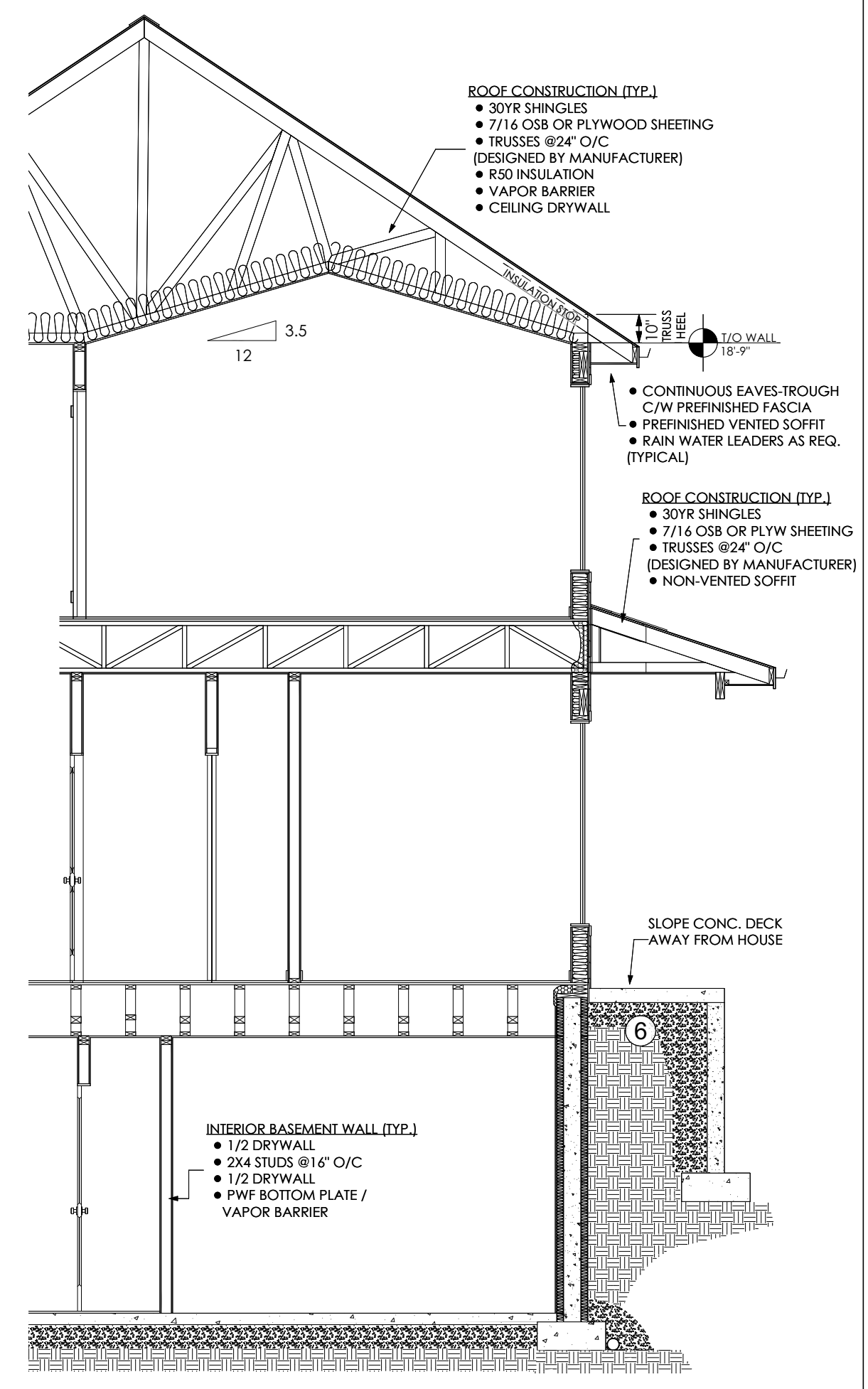
PAGE TITLE: Foundation Layout  
 PROJECT: Ronald & Hendrika Koolijman

DRAWINGS PROVIDED BY: G de L  
 Qualicore Homes Ltd.  
 E: qualicorehomes@gmail.com C: 403.634.0034

DATE: Jan 31, 2025  
 SCALE: As Shown  
 SHEET: A-6



**S1** SECTION VIEW  
Scale: 1/4" = 1'0"



**D1** DETAIL VIEW  
Scale: 1/4" = 1'0"

**NOTES**

- All Construction shall be in accordance with the latest governing Building Code(s) and local regulations.
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PAGE TITLE: **Section View**  
PROJECT: **Ronald & Hendrika Koolijman**

DRAWINGS PROVIDED BY: **G die L**  
**Qualicore Homes Ltd.**  
E: qualicorehomes@gmail.com C: 403.634.0034

DATE:  
Jan 31, 2025

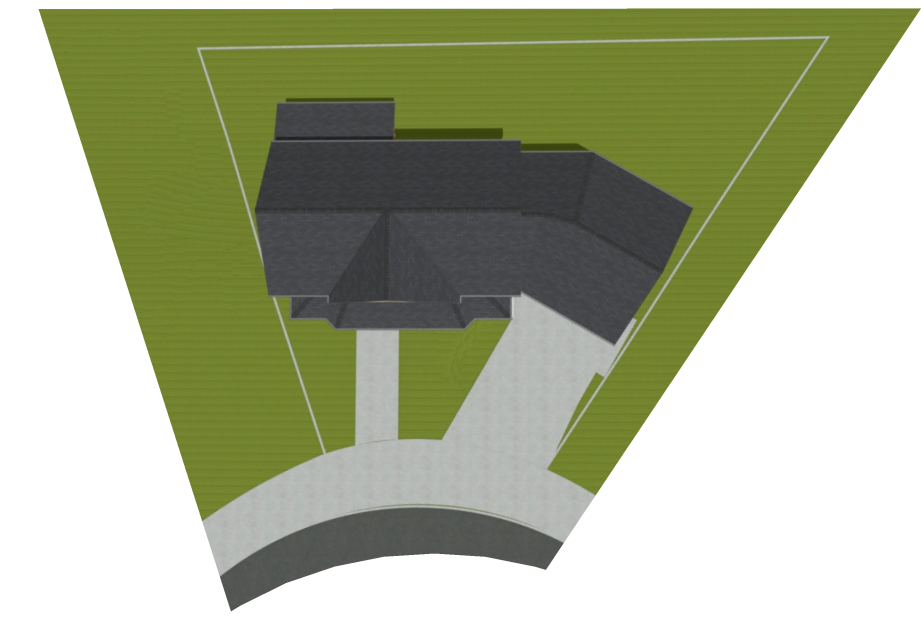
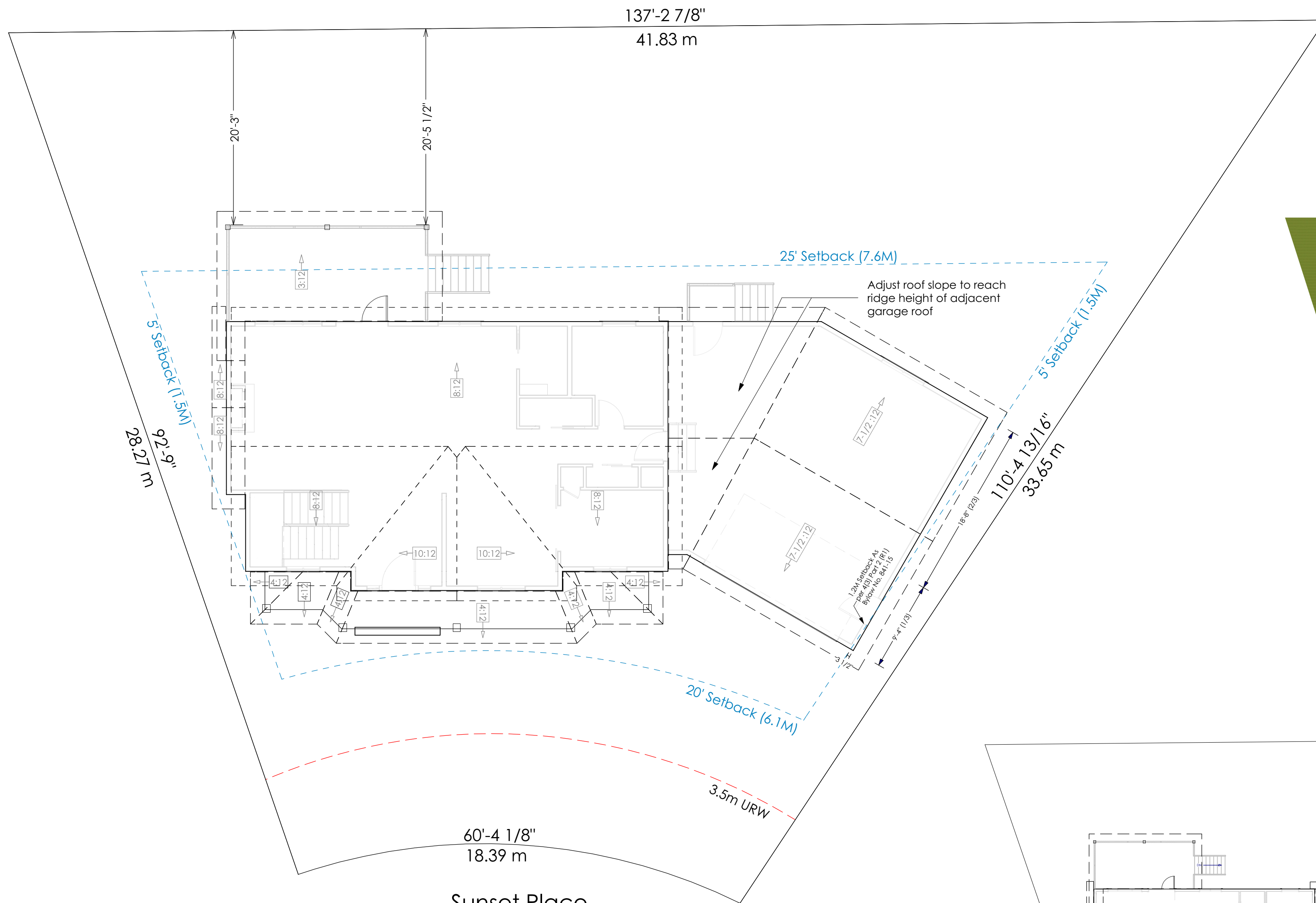
SCALE:  
As Shown

SHEET:  
**A-7**





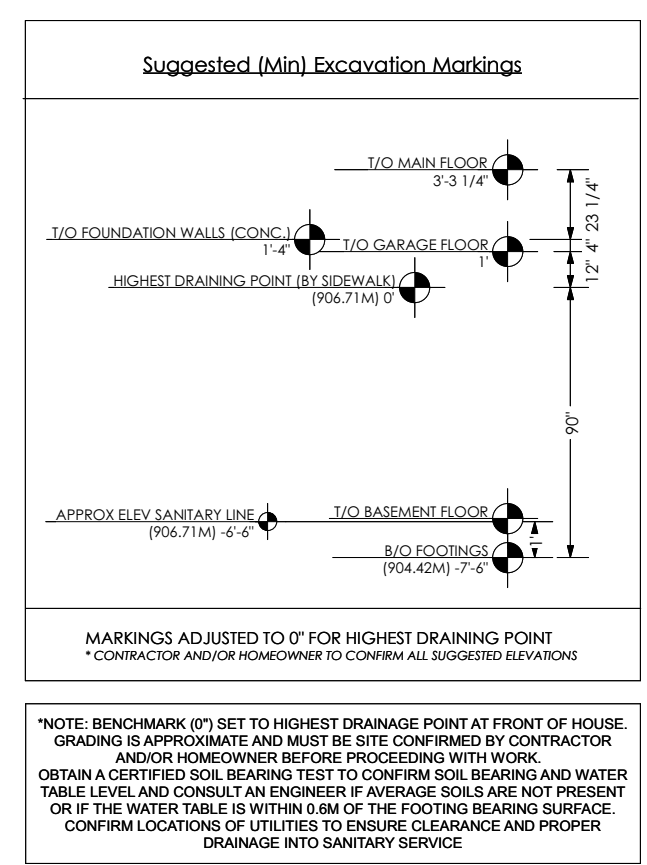




FOOTPRINT	
Site Area:	8105 Sq Ft (753 SqM)
Building Area:	2310 Sq Ft (214.6 SqM)
Site Coverage:	28.5%

**NOTES**

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**1 PLOT PLAN**  
 Scale: 1/8" = 1'0"

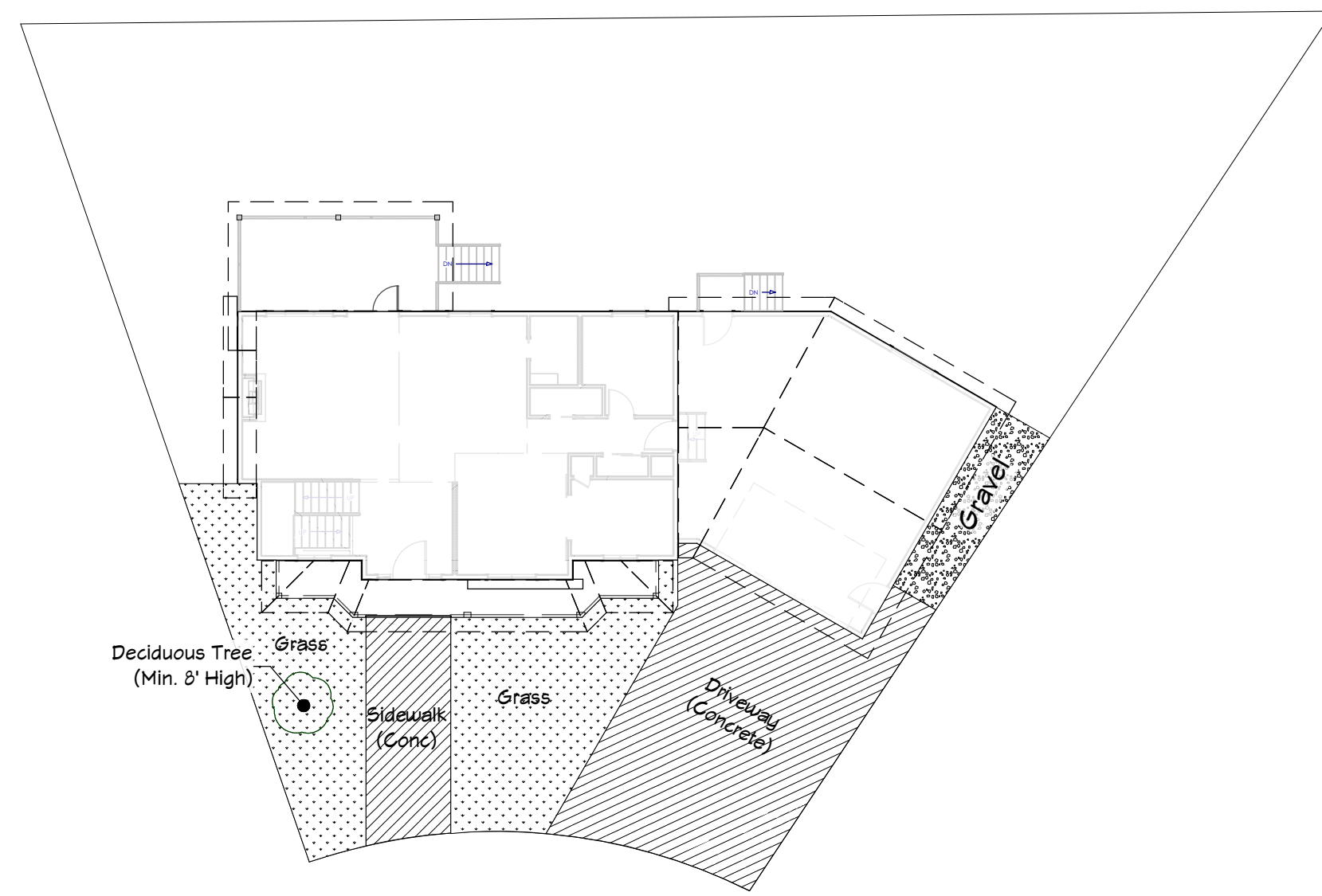
**Site Plan**

Home Owner: Ronald and Hendrika Kooijman

Location: 800 - Sunset Place  
 Picture Butte, AB

Site ID: Lot 45, Block 19  
 Plan 151 3407

\*SITE INFORMATION TAKEN FROM AB GOVERNMENT WEBSITE. OWNERS / CONTRACTORS TO CONFIRM INFORMATION



**1 LANDSCAPE PLAN**  
 Scale: 1/16" = 1'0"

PAGE TITLE: **Plot Plan & Landscaping Plan**

PROJECT: **Ronald & Hendrika Kooijman**

DRAWINGS PROVIDED BY: **Qualicore Homes Ltd.**

E: qualicorehomes@gmail.com C: 403.634.0034

DATE: **Jan 31, 2025**

SCALE: **As Shown**

SHEET: **A-9**



# Picture Butte

## *Picture Perfect!*

4 February, 2025

---

**Re: DEVELOPMENT PERMIT APPLICATION NO. 2025-08: 800 Sunset Place, Picture Butte, AB. T0K 1V0  
Back Yard Set Back Waiver**

---

Dear Landowner

The owner of 800 Sunset Place, Picture Butte, Alberta, Lot 45, Block 19, Plan 1513407, has applied for:

1. A five (5) foot Rear Yard Setback .
  - a. Under Land Use Bylaw No. 841-15 the rear yard setback must be 25-feet, the landowner is applying to have their rear yard set back be 20 feet. The Land Use Bylaw No. 841-15 requires all adjacent landowners be notified prior to a waiver being approved.

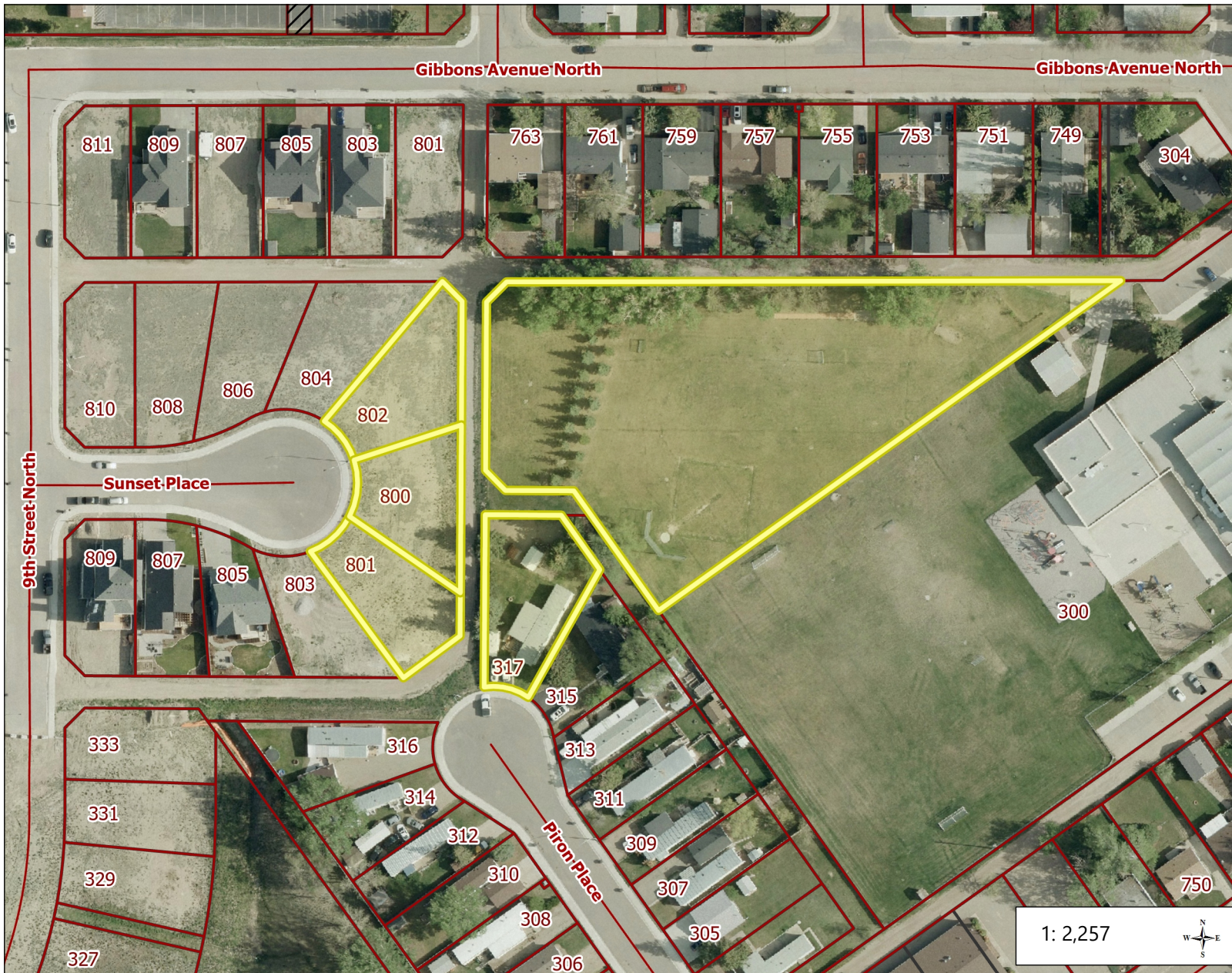
The Municipal Planning Commission will consider this development application and any written submissions or verbal representations in Council Chambers at the Town Office, 120 4<sup>th</sup> Street North, Picture Butte, AB. at 6:30 p.m. on the 24<sup>th</sup> of February, 2025. If you have any concerns, objections, support or would like to make a verbal representation at the meeting please inform me, via email or in writing, before 12:00 p.m. on the 24<sup>th</sup> of February, 2025.

A copy of the proposed development is available at the Town office for viewing. If you have any questions please contact me at the Town office.







Sincerely  
Keith Davis  
CAO  
Town of Picture Butte  
keith@picturebutte.ca



# Adjacent Landowners



## Legend

- Boundary
- Civic Address
- Road Labels
- Hwy Symbol
-  25
-  519
-  843
- Hwy
- Adjacent Roads
-  Closed Roads
-  Reservoir
- Road Centreline
- Title Linework
-  Parcels

## Notes

© Town of Picture Butte

0.1 0 0.06 0.1 Kilometers

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© OpenStreetMap contributors

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THIS MAP IS NOT TO BE USED FOR NAVIGATION